



Building and Development Dispute Resolution Committees – Decision

Sustainable Planning Act 2009

Appeal Number:	14 – 16
Applicant:	BSP Building Certifiers
Assessment Manager:	Stewart Magill, BSP Building Certifiers.
Concurrence Agency: (if applicable)	Sunshine Coast Regional Council (Council)
Site Address:	30 Daintree Boulevard Little Mountain described as Lot 29 on SP 195901 – the subject site.

Appeal

Appeal under section 527 of the *Sustainable Planning Act 2009* (SPA) against the decision of the Assessment Manager to refuse a Development Application for Building Work for the construction of a carport. Sunshine Coast Regional Council, as the Concurrence Agency, directed refusal because the location of the carport conflicts with the siting provisions of the Dwelling House Code of the Sunshine Coast Planning Scheme and MP1.2 of the Queensland Development Code.

Date and time of hearing:	10.30am, 20 June 2016.
Place of hearing:	The subject site.
Committee:	Don Grehan – Chair John Gillespie – Committee Member
Present:	Craig Andrew – Property Owner Jill Andrew- Property Owner Stewart McGill – Applicant and Assessment Manager. Vince Whitburn – Council representative.

Decision:

The Building and Development Dispute Resolution Committee (the Committee), in accordance with section 564 of the SPA, **sets aside** the decision of the Assessment Manager and approves the proposed Carport subject to the following conditions and directions as considered appropriate:

Conditions:

1. Approval is given for an open carport only, the structure is to be constructed in accordance with the Plans, Specifications and Supporting Documents (Page 1 -16) marked BDDRC 14-16 (**attached**).

2. The North, South and West elevations of the carport must remain open and must not be fitted with a roller doors, shutters, grills, batten screens or similar;
3. The colour of the roof sheeting of the proposed carport shall match as close as possible the colours of the existing roof of the dwelling.
4. Stormwater from the proposed carport is to be collected and discharged via underground pipe/s to the street channel; the lay-back curb shall be fitted with an appropriate adapter.
5. Unless noted otherwise, the Condition Time; requisite stages of inspection; requisite certificates of design; compliance, or aspect, together with any specific elemental conditions and details of any applicable self-assessable codes or further development approval required are to be nominated in writing by the Assessment Manager prior to the commencement of work. Such details are to be provided to the Applicant, Builder and Council.
6. The proposed works shall comply with the following conditions of Unitywater as the Concurrence Agency for Building Over or Near Relevant Infrastructure:
 - 6.1 The Property Owner accepts sole responsibility for and releases Unitywater, its employees, authorised agents and contractors in respect of all illness, injury, death and loss or damage of property which may be sustained by Unitywater's infrastructure; as a result of the building work being undertaken near that infrastructure.
 - 6.2 The Property Owner indemnifies and shall keep indemnified Unitywater against all actions, claims, suits, demands, losses, damages, costs and expenses of any kind, arising out of or incidental to the building work being undertaken near Unitywater's infrastructure and any works carried out by Unitywater except to the extent caused by the negligence of Unitywater, its employees, authorised agents and contractors.
 - 6.3 Where a footing system includes piles/piers to support the building work, they must not be impact driven.
 - 6.4 The building work is to be located, and the footings/foundations to be constructed, as detailed with the approved drawings listed below, which are to be integral to the building development approval issued by the building certifier for the work:

APPROVED DRAWINGS				
Drawing No.	Rev.	Title	Prepared By	Date
15157A/01		Proposed Site Plan	AK Building Design	04/12/2015
15157A/02		Proposed Floor Plan	AK Building Design	04/12/2015
15157A/03		Proposed West-North Elevation	AK Building Design	04/12/2015
SC-5809 03		Footing Layout	Empire Engineering	July 2016
SC-5809 04		Roof Framing Layout	Empire Engineering	July 2016
SC-5809 05		Column Detail	Empire Engineering	July 2016

- 6.5 Any variation to the approved drawings will require a further referral to Unitywater for consideration prior to commencing the building work. Such amended proposals will be considered on their individual merits and may or may not be considered favourably.

6.6 To ensure the design clearance is attained; the line of the infrastructure, in particular the sewer property connection point, must be accurately located on the property prior to commencing the building work. In the event the actual clearance is less than design clearance, a further referral to Unitywater is required and the resultant response shall be acted upon accordingly.

7. Prior to the placement of concrete for footings, a Registered Professional Engineer of Queensland (RPEQ) must inspect the works for compliance with the approved design giving due consideration to the protection of the relevant infrastructure and, when satisfied, issue a Form 16 Aspect Certificate for the stage of work.

Directions:

8. The Property Owner is to provide the Building Certifiers copy of the QBCC Home Warranty insurance documentation to the Assessment Manager prior to the commencement of works.

9. The Property Owner and Council are reminded that the Conditions of this Decision are the Conditions of a Development Approval for Building Works and attach to the land binding the Property Owner, the Owner's successors in title, and any occupier of the land.

Background

The subject site is a 650m² allotment situated within an established residential neighborhood, which contains a single storey residential dwelling.

The Property Owners sort approval from Building Surveying Professional Pty Ltd as the Assessment Manager for a Development Approval for Building Works (the Application) for the construction of a carport. The proposed carport is to be located over the existing driveway and is to be constructed as an extension of the existing attached garage that forms part of the dwelling.

The carport is proposed to be located with a road boundary setback of 910mm; a side boundary set back of 907mm; incorporating a total length of 12850mm of all buildings and parts within a 1.5m clearance from the northern (side) property boundary.

On 23 February 2016 the Assessment Manager submitted a request for Referral Agency Response for Building Works to Sunshine Coast Regional Council as the Concurrence Agency.

On 3 March 2016, Council sent the Assessment Manager an Information Request to which the Assessment Manager responded on 15 March 2016.

On 17 March 2016, Council directed refusal of the Application because they considered the development did not comply with, and could not be conditioned to comply with Performance Outcome P02 of the Dwelling House Code of the Sunshine Coast Planning Scheme which requires the siting of Garages, Carports and Sheds to:

- (a) Preserve the amenity of adjacent land and dwelling houses;
- (b) Do not dominate the streetscape;
- (d) Maintain the visual continuity and pattern of buildings and landscape elements within the street.

And the Queensland Development Code MP1 2 Performance Criteria (QDC MP1.2) - P2 Buildings and structures -

- (c) do not adversely impact on the amenity and privacy of residents on adjoining lots.

On 4 April 2016, the Assessment Manager issued a Decision Notice refusing the Application as directed by Council.

On 3 May 2016, the Property Owners, dissatisfied with the refusal, provided written Authority to the Assessment Manager (BSP Building Certifiers) to lodge an Application for appeal (Form 10) appeal with the Committees Registry and represent their interests in the appeal.

On Monday 20 June 2016, an appeal hearing was held on the subject site.

The Material Considered

The material considered in arriving at this decision comprises:

1. 'Form 10 – Appeal Notice', grounds for appeal and correspondence accompanying the appeal lodged with the Committees Registrar on 03 May 2016.
2. Assessment Managers Decision Notice, Reference No. 20164850 dated 04 April 2016.
3. Sunshine Coast Regional Council's Concurrence Agency Response, Reference No. RAB16/0111 dated 17 March 2016.
4. Verbal submissions from the Applicant and Property Owners at the hearing.
5. Verbal submissions from Council's representative at the hearing.
6. The *Sustainable Planning Act 2009* (SPA).
7. The Sustainable Planning Regulation 2009 (SPR).
8. The *Building Act 1975* (BA).
9. The Dwelling House Code of the Sunshine Coast Regional Council Planning Scheme 2014.
10. Queensland Development Code Mandatory Part 1.2 - MP 1.2 – Design And Siting Standard For Single Detached Housing on Lots 450m² and Over. (QDC MP1.2)
11. Amended architectural details, submitted post hearing, as requested by the Committee.

Findings of Fact

- The subject site is a 650m² allotment situated within an established residential neighborhood, which contains a single storey residential dwelling.
- The Property Owners sort approval from Building Surveying Professional Pty Ltd as the Assessment Manager, for a Development Approval for Building Works (the Application) for the construction of a carport. The proposed carport is to be located over the existing driveway and is to be constructed as an extension of the existing attached garage that forms part of the dwelling.
- The carport is proposed to be located with a road boundary setback of 910mm; a side boundary set back of 907mm; incorporating a total length of 12850mm of all buildings and parts within a 1.5m clearance from the northern (side) property boundary.
- A 6000mm setback to the outermost projection from the property boundary adjoining the road reserve is the Acceptable Outcome that satisfies Performance Outcome PO2 of the Dwelling House Code of the Sunshine Coast Planning Scheme in relation to the siting of Garages Carports and Sheds
- A maximum of 9000mm is the Acceptable Solution that satisfies Performance Criteria P2 of QDC MP 1.2 in relation to the total length of all buildings or parts, of any class, within

the side boundary clearance of 1.5m for single storey building and structures along any one boundary.

- In arriving at their decision to direct a refusal, Council considered that:
 1. The proposed carport did not preserve the amenity of adjacent land and dwelling houses;
 2. The proposed carport dominated the street scape;
 3. The proposed carport did not maintain the visual continuity and pattern of buildings and landscape elements within the street; and
 4. The proposed carport adversely impacted on the amenity and privacy of residents on adjoining lots.
- The Property Owner, as a result of a motor vehicle accident, has acquired serious permanent injuries that significantly limit independent mobility to the extent that use of limb prosthesis and a manual wheel chair is required.
- The Property Owner has completed other internal work within the existing dwelling to allow long term accommodation within the residence however, the physical dimensions and construction methods appurtenant to the existing attached garage are such that modifications to facilitate the operation of a wheelchair hoist are impractical.
- In light of Council's concerns, the Property Owner expressed a willingness to modify the architectural design of the proposed carport to be more sympathetic to the design of the original dwelling and to lessen, as far as possible, its impact on the street scape.
- Following the appeal hearing on 20 June 2016, to allow the Property Owner to achieve the above, the Committee requested the following be provided to the Committee by 19 August 2016:
 1. Architectural Plans showing:
 - (a) The roof design of the proposed carport amended from a Dutch Gable to a Standard Hip;
 - (b) The discharge of stormwater from the roof to the kerb and channel.
 2. A design for the pier footings, including sewer protection, prepared by a Registered Professional Engineer of Queensland (RPEQ) inclusive of a form 15 Certificate of Design Compliance;
 3. Concurrence Agency Advice from Unity Water agreeing to the siting of the proposed carport relative to the adjacent sewer;
 4. A copy of a Detail Sewer Plan from Unity Water specifying the size, location and depth of the adjacent sewer; and
 5. Written confirmation from the adjoining property owners of 28 and 32 Daintree Boulevard stating that they have viewed the drawings of proposed carport and identifying any specific concerns relating to the proposed carport.
- On 10 August 2016, the Applicant provided the above information as requested by the Committee.

Reasons for the Decision

- The Committee is satisfied that the amended architectural design (attached) in conjunction with the benign nature of the use of the structure will not unduly impact on the privacy of the residents of the adjoining lots or lessen the pleasantness of the space adjacent to the proposed carport that they currently enjoy.

- The Committee is satisfied that the amended architectural design (*attached*) satisfies Parts (a), (b) and (d) of Performance Outcome PO2 of the Dwelling House Code of the Sunshine Coast Planning Scheme.

Don Grehan
Building and Development Committee Chair
Date: 12 September 2016

Appeal Rights

Section 479 of the *Sustainable Planning Act 2009* provides that a party to a proceeding decided by a Committee may appeal to the Planning and Environment Court against the Committee's decision, but only on the ground:

- (a) of error or mistake in law on the part of the Committee or
- (b) that the Committee had no jurisdiction to make the decision or exceeded its jurisdiction in making the decision.

The appeal must be started within 20 business days after the day notice of the Committee's decision is given to the party.

Enquiries

All correspondence should be addressed to:

The Registrar of Building and Development Dispute Resolution Committees
Building Codes Queensland
Department of Housing and Public Works
GPO Box 2457
Brisbane QLD 4001
Telephone 1800 804 833 Facsimile (07) 3237 1248



R.P. DESCRIPTION
 Lot 29 on S.P. 195301
 Parish of Brilbie
 County of Camero
 Area : 650 m²

GENERAL
 Do not scale from these drawings. Measured dimensions take precedence at all times. When in doubt consult the author. Prior to commencing construction it is the builder's responsibility to:
 - verify all dimensions and levels on site.
 - ensure all boundary setbacks are strictly adhered to.
 - verify location and levels of all services on site.
 - verify that floors and finished levels create connection to required services on site.
 These drawings have been prepared for building permit application only. It is the builder's/ proprietor's responsibility to further interpret the design and drawings to detail the project for construction.

TERMITES
 Protection against subterranean termites to be in accordance with A.S. 3660 Part 1. (protection of buildings from subterranean termites). Protection against subterranean termites to apply to all 'primary building elements'. The builder is to ensure that all proposed building works do not interfere with the performance of any existing termite barrier or systems. Regular inspections of the building are to be carried out in accordance with the existing systems requirements to ensure the barrier has not been bridged by termites.

: Proposed Front Boundary Carport Relaxation.

: Approx. Natural Surface Levels to A.H.D. as provided by others.

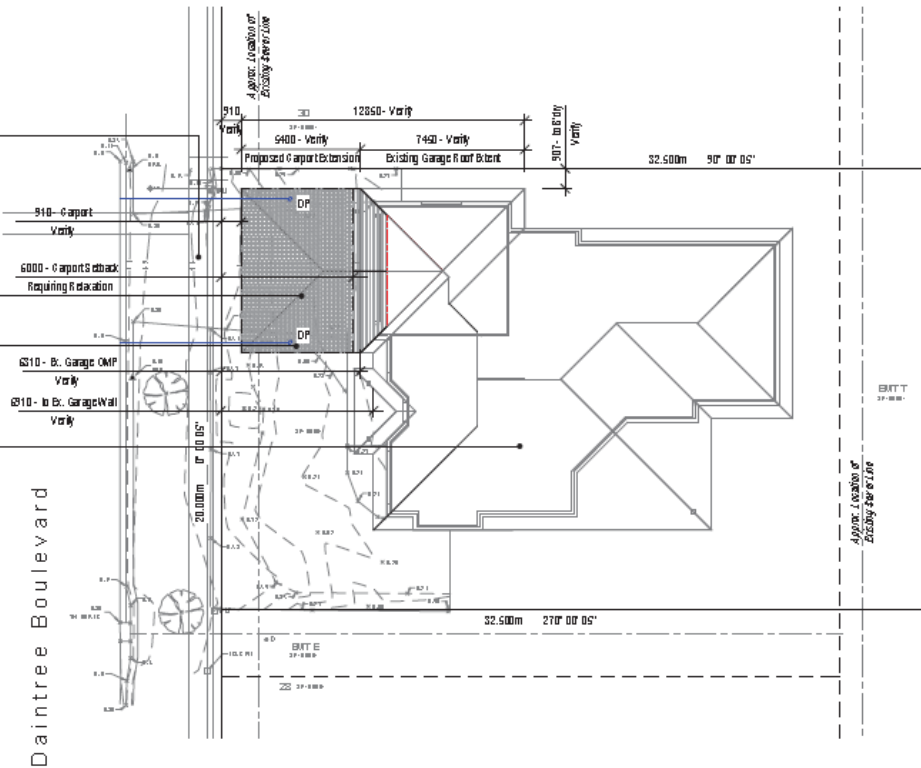
: Approx. Natural Surface Contours to A.H.D. as provided by others.

EXISTING DRIVEWAY
 Location to be verified on site.
 No change.

PROPOSED FRONT BOUNDARY SETBACK RELAXATION.
 Area: 37.9 m²

PROPOSED CARPORT
 Location to be verified on site.

EXISTING RESIDENCE
 Location to be verified on site.
 To be extended.



CLIMATE CODE REQUIREMENTS
 Independent energy assessor to confirm adequacy of proposed construction. (if required)

Provide insulation to R.S.C. code requirements or to BEERS certification requirements.

All drawings have been submitted in accordance with the National Construction Code - 2016 and A.S. 1564-2010 Residential Timber Framed Construction.

CONSTRUCTION
 All work shall comply with the National Construction Code - 2016 for a Class 1.

STRUCTURAL DESIGN
 Where a structural engineer has been consulted comply strictly with the engineers drawings and specifications.

STEELWORK
 To be non-combustible and hot dip galvanized or corrosion resistant material.

MASONRY
 Comply with A.S. 3700 - Masonry Structures

NOTES
 Position of proposed building to be verified by builder on site.

Location of existing services to be verified by builder prior to construction.

STORMWATER DRAINAGE

1. DP - 90A down pipes to discharge to kerb and channel, 100mm min. cover, 1 in 100 min. fall. Down pipe diameter based on eaves gutters with a minimum of 5236mm² to a maximum of 6600mm² effective cross sectional area and a gradient of 1:500 or steeper.
2. Stormwater pipes shall be connected to kerb and channel by use of a suitable PVC adaptor which allow a min. of 75mm (upright kerb and channel), 40mm (lay back kerb and channel) of concrete above top of adaptor. The adaptor shall be cut to suit the slope of the face of the kerb. Kerb to be made good.
3. All stormwater drainage shall be in accordance with A.S. 3600.5.
4. All stormwater drainage shall be in accordance with S.C.C. guidelines to minimize erosion and scouring. Stormwater flow other than natural overland flow shall not be discharged onto neighbouring property.
5. All stormwater drainage design is preliminary and shall be confirmed by a licensed hydraulic designer.

PROPOSED SITE PLAN

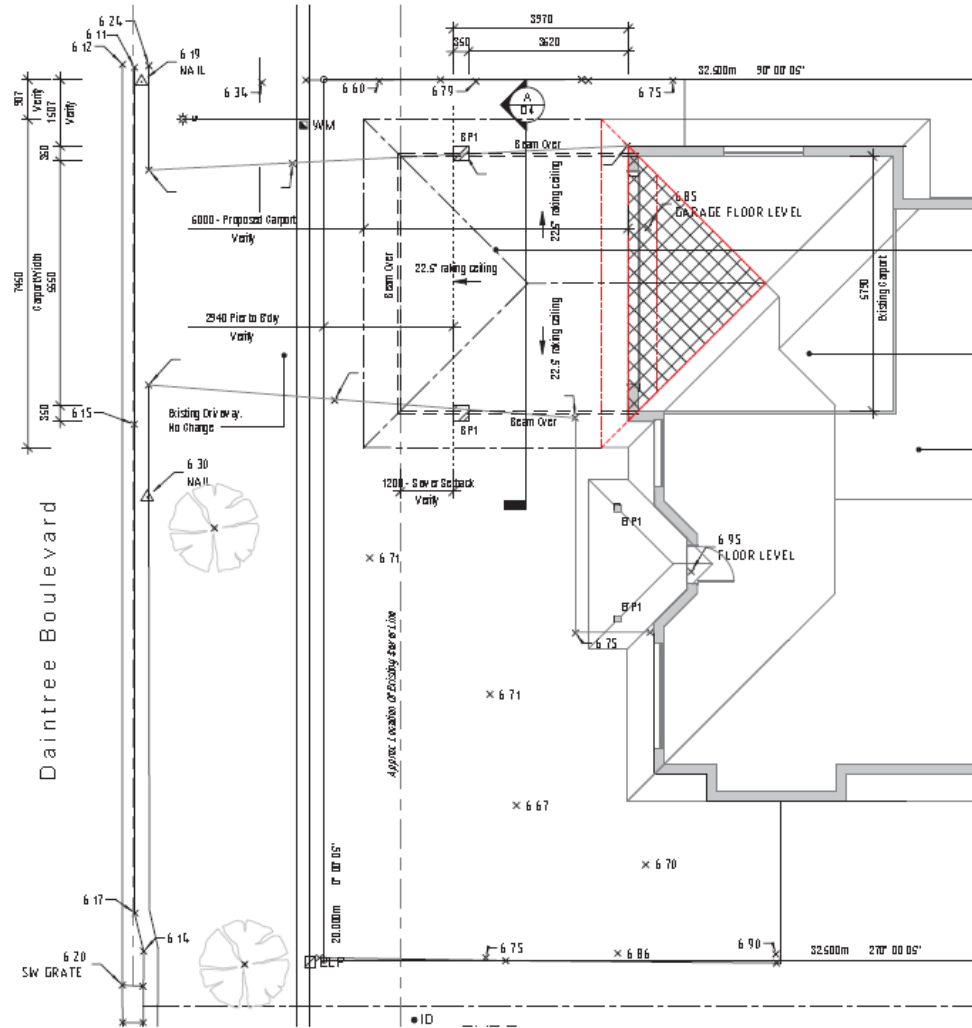
Scale 1:200

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C & J Andrew
 30 Daintree Boulevard
 Little Mountain

DATE:	14/07/2016
DRAWING No:	15157A / 01

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- PROPOSED CARPORT**
Location to be verified on site.
Pad Level - Gradient of Existing Driveway
Pitching to match existing
22.5° raking ceiling
Approx. 2470 Pitching
- EXISTING GARAGE**
Location to be verified on site.
No change.
2500 raking
- EXISTING RESIDENCE**
Location to be verified on site.
No change.

These plans are based on information supplied by others. The author is not commissioned to measure the existing structure in full. Builder / Contractor to confirm on site.

NOTE:
All wall dimensions are taken from the outside faces of the stud wall. (i.e. selected cladding over omitted for clarity excluding brick veneer walls).

- SCHEDULE OF ABBREVIATIONS**
- Existing brick veneer walls to be maintained.
 - Existing timber framed walls to be maintained.
 - Existing Roof to be removed.
 - Existing Roof to be maintained.
 - Proposed Roof as specified.
- BP1 : Proposed 350 square brick pier as specified
 BP1 : Existing 150 RWD post to be maintained.
 Build up over existing roof as required in accordance with engineer's detail.

AREA SUMMARY
Proposed Carport: 27.5 m²

PROPOSED FLOOR PLAN
Scale: 1:100

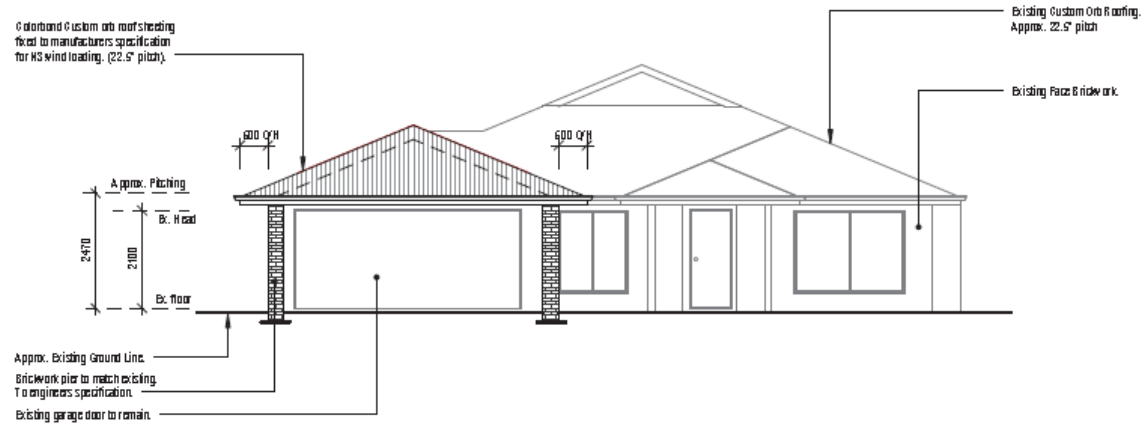
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DATE: 14/07/2016
 DRAWING No: 15157A / 02

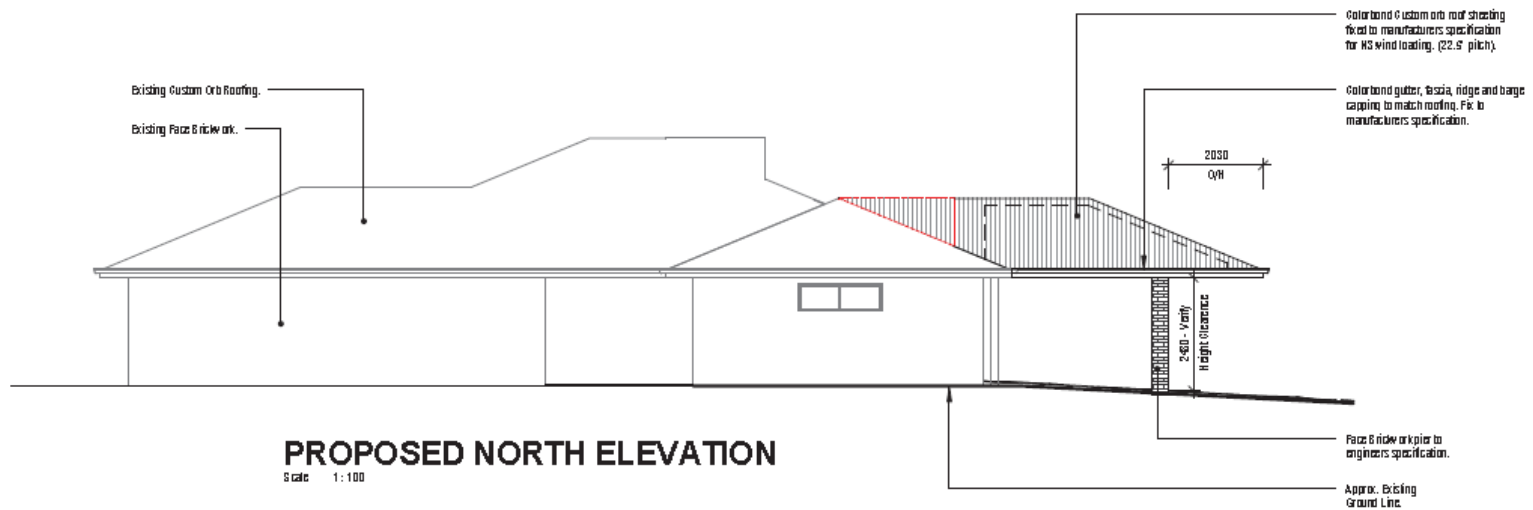
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NOTE:
Builder/ Contractor to confirm pitch of existing roof busses for Proposed Extension.



PROPOSED WEST ELEVATION

Scale 1:100



PROPOSED NORTH ELEVATION

Scale 1:100



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DATE: 14/07/2016
 DRAWING No: 15157A / 03

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WORKPLACE HEALTH & SAFETY REQUIREMENTS

1. FALLS, SLIPS, TRIPS

Working at Heights During Construction
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than 6 metres. However, construction of this building will require workers to be working at heights where a fall in excess of 6 metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier whenever a person is required to work in a situation where a fall more than 6 metres is a possibility.

Window Operation or Maintenance
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated here a fall from a height in excess of 6 metres is possible. Where this type of activity is required, scaffolding, ladders or braces should be used in accordance with relevant codes of practice, regulations or legislation.

Slippery or Uneven Surfaces
Floor Finishes
The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS 1511:1999 and AS/NZS 4536:2004.

Steps, Loose Objects and Uneven Surfaces
Where steps and/or ramps are included in the building they may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.
Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS
Loose Materials or Small Objects
Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

Building Components
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For buildings on a major road, narrow road or steeply sloping road
Parking of vehicles or loading/unloading vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For buildings where on-site loading/unloading is restricted
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES
Nature of services during excavation or other activities creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated.

In excavations with underground pipes or power lines must be disconnected or carefully located and adequately warning signs used prior to any construction, maintenance or demolition commencing.
Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Where overhead power lines are near or on this site they pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical, adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS
Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting devices. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and, where practical, all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used hereafter or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

Personal Protective Equipment
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

Treated Timber
The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

Volatile Organic Compounds
Many types of glue, solvents, spray paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

Acoustic Mineral Fibre
Fibreglass, rock wool, ceramic and other material used for thermal or sound insulation may contain fibrous mineral fibres which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

Finish Finishes
Resealable finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES
Excavation
Construction of this building and some maintenance on the building may require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

Enclosed Spaces
Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

Small Spaces
Where small spaces within this building require access by construction or maintenance workers provide warning signs and barriers to unauthorised access. These should be regularly checked and the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. The perimeter fence must be adequate and be of a suitable height to deter entry, e.g. 1.800 high and be constructed from dedicated materials and be difficult to climb & be difficult to gain access underneath and gates and joints in the fence should be secure and not present a weak point for entry.

In case of emergency, builders must ensure signs are clearly visible from outside the site, stating the names and contact telephone numbers of the person with control of the building work.

Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING
For residential buildings
This building has been designed as a residential building. If, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY
All electrical work should be carried out in accordance with *Code of Practice: Minimising Electrical Risks at the Workplace, AS/NZS 2201* and all licensing requirements. All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*. All work should be carried out in accordance with *Code of Practice: Managing Hazard and Preventing Hearing Loss at Work*. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.



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C & J Andrew
30 Daintree Boulevard
Little Mountain

DATE: 14/07/2016
DRAWING No: 15157A / 05

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Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>30 Daintree Blvd LITTLE MOUNTAIN Postcode 4551</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated? Sunshine Coast Regional Council</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Structural Elements to the Proposed Extension including: footing, timber framing, bracing and tie-down (not including roof trusses)</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Drawings are in accordance with the following Australian Standards: AS 2670 Residential Slabs and Footings, AS 3600 Concrete Structures, AS 1684.3 (N3) Residential Timber Framed Construction, AS 4055 Wind Loads for Housing</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>Empire Engineering Drawings SC-5809 / 01-05</p>

LOCAL GOVERNMENT USE ONLY	
Date received	Reference Numbers

The *Building Act 1975* is administered by the Department of Housing and Public Works



5. Building certifier reference number	Building certifier reference number
6. Competent person details	<p>Name (in full) Gavin Mark Evans</p> <p>Company name (if applicable) Empire Engineering Pty Ltd</p> <p>Contact person Gavin Mark Evans</p> <p>Phone no. business hours (07) 5477 6437</p> <p>Mobile no.</p> <p>Fax no. (07) 5444 4216</p> <p>Email address admin.sc@empireengineering.com.au</p> <p>Postal address PO Box 102 Mooloolaba QLD Postcode 4557</p> <p>Licence or registration number (if applicable) RPEQ 8054</p>
7. Signature of competent person	<p>Signature </p> <p>Date 29-07-2016</p>

The *Building Act 1975* is administered by the Department of Housing and Public Works





Our file ref: 811617641

30 Daintree Boulevard
Little Mountain Qld 4551

8 August 2016

Dear Mr Craig Andrew

Concurrence Agency Referral Response – proposed building work to be undertaken near service provider infrastructure

Account Number: 222049
Property Address: 30 Daintree Boulevard
Real Property Description: Lot 29 on SP195901
Proposed Building Work: Carport

Thank you for referring the proposed building work to be undertaken on the property as mentioned above to Unitywater for a concurrence agency assessment. The assessment has been conducted in consideration of the drawings and documents that were submitted.

This concurrence agency referral response is issued under the provisions of the *Sustainable Planning Act 2009* and as such shall be a component of the building development approval that is to be obtained and issued for the proposed building work.

The proposed building work is to be undertaken in accordance with the conditions as listed below.

CONDITIONS

1. The owner accepts sole responsibility for and releases Unitywater, its employees, authorised agents and contractors in respect of all illness, injury, death and loss or damage of property which may be sustained by Unitywater's infrastructure, as a result of the building work being undertaken near that infrastructure.
2. The owner indemnifies and shall keep indemnified Unitywater against all actions, claims, suits, demands, losses, damages, costs and expenses of any kind, arising out of or incidental to the building work being undertaken near Unitywater's infrastructure and any works carried out by Unitywater except to the extent caused by the negligence of Unitywater, its employees, authorised agents and contractors.
3. Where a footing system includes piles/piers to support the building work, they must not be impact driven.
4. The building work is to be located and the footings/foundations to be constructed as detailed within the approved drawings listed below, which are to be integral to the building development approval issued by the building certifier for the work.

Head Office:
Ground Floor, 33 King Street
Caboolture QLD 4510
Mailing Address:
P.O. Box 953, Caboolture QLD 4510
1300 0 UNITY (1300 096 489)
www.unitywater.com
ABN: 89751717 472



APPROVED DRAWINGS				
Drawing No.	Revision	Title	Prepared By	Date
151 57 A01		Proposed Site Plan	AK Building Design	04/12/2015
151 57 A02		Proposed Floor Plan	AK Building Design	04/12/2015
151 57 A03		Proposed West-North Elevation	AK Building Design	04/12/2015
SC-5809 03		Footing Layout	Empire Engineering	July 2016
SC-5809 04		Roof Framing Layout	Empire Engineering	July 2016
SC-5809 05		Column Detail	Empire Engineering	July 2016

NB – Approved Drawings are enclosed

5. Any variation to the approved drawings will require a further referral to Unitywater for consideration prior to commencing the building work. Such amended proposals will be considered on their individual merits and may or may not be considered favourably.
6. To ensure the design clearance is attained; the line of the infrastructure, in particular the sewer property connection point, must be accurately located on the property prior to commencing the building work. In the event the actual clearance is less than design clearance, a further referral to Unitywater is required and the resultant response shall be acted upon accordingly.

REASONS FOR CONDITIONS

The conditions as listed must attach to the building development approval so as to ensure there is no damage caused to the building works and the infrastructure, there is sufficient ventilation for individuals in close proximity to the infrastructure and adequate access for inspecting, maintaining or replacing the infrastructure is provided.

Should you seek further information or clarity on the content of this response, please contact the assessment officer, Shane Freese at your convenience on **(07) 54093869** or email development.services@unitywater.com

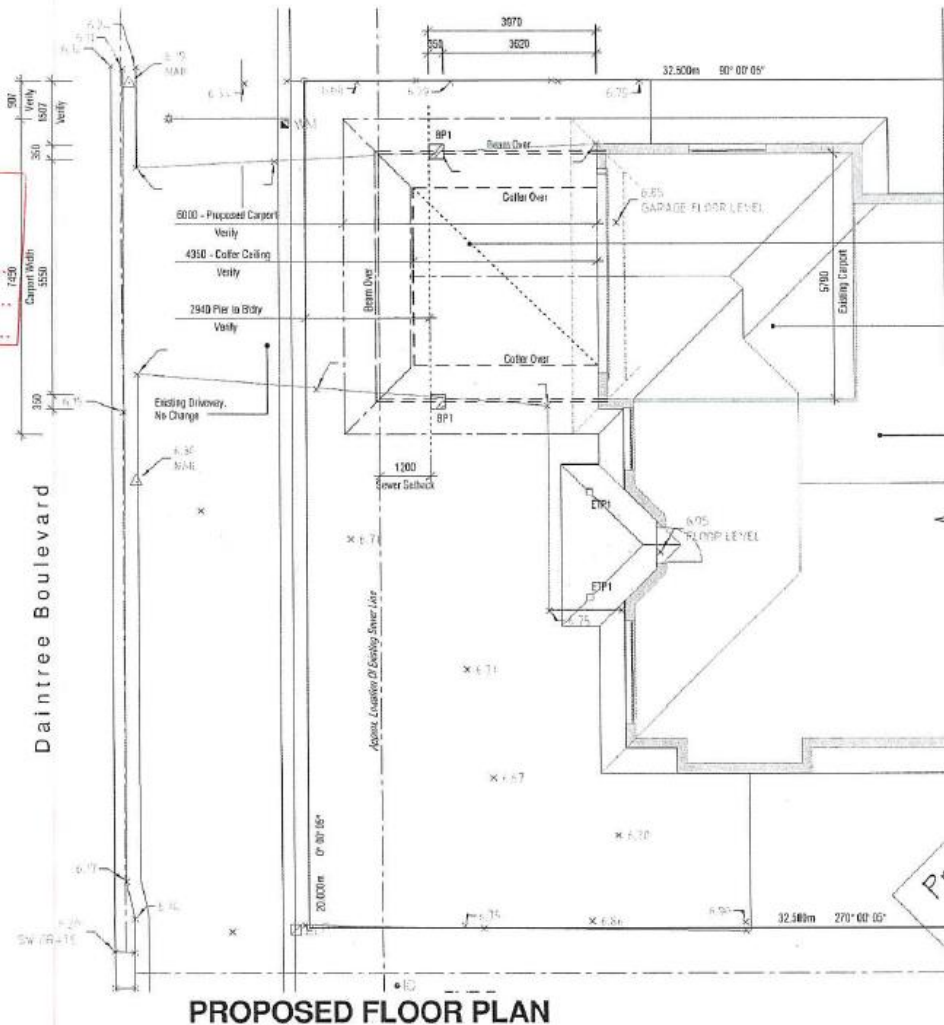
Yours sincerely

Mark Kettley
Team Leader Development Works
Development Services

ENC Approved Drawings



Unitywater
APPROVED PLANS
 File No: 8167641
 Signed: [Signature]
 Dated: 8.8.16



- PROPOSED CARPORT**
 Location to be verified on site.
 Paul Level - Gradient of Existing Driveway
 2500 Ceiling
 2800 Coffin Ceiling
- EXISTING GARAGE**
 Location to be verified on site.
 No Change.
 2500 Ceiling
- EXISTING RESIDENCE**
 Location to be verified on site.
 No Change.

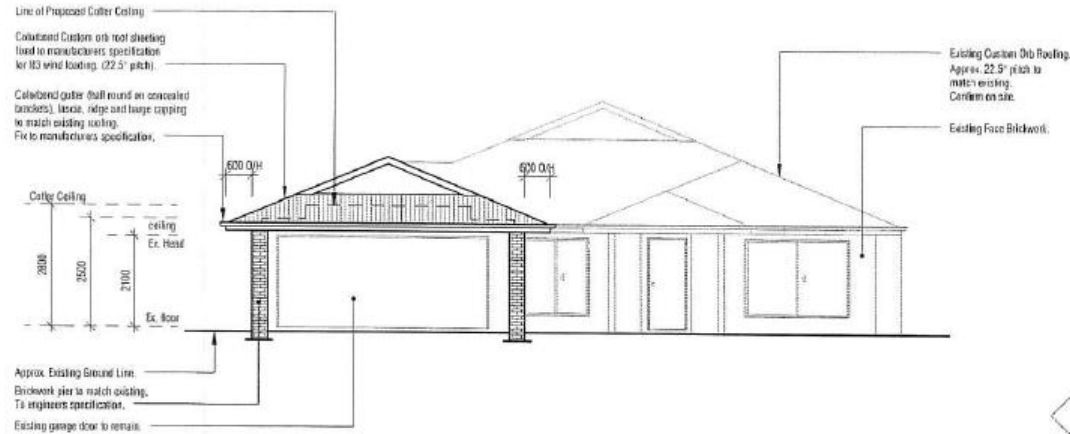
SCHEDULE OF ABBREVIATIONS
 - - - - - Existing brick veneer walls to be maintained.
 - - - - - Existing timber framed walls to be maintained.
 - - - - - Existing Roof to be removed.
 - - - - - Existing Roof to be maintained.
 - - - - - Proposed Roof as specified.
 BP1: Proposed 350 square brick pier as specified.
 ETP1: Existing 150 HWD post to be maintained.

AREA SUMMARY
 Proposed Carport: 24.8 m²

Preliminary Concept
 Design 2

PROPOSED FLOOR PLAN
 Scale: 1:100

	AK BUILDING DESIGN T. 07 5443 4200 F. 07 5443 3391 E. info@akbd.com.au A. Suite 9/50 Aerodrome Rd Maroochydore P.O. Box 116 Cotton Tree Qld 4558 ABN 95 621 039 731 QBCC 1060563	C & J Andrew 30 Daintree Boulevard Little Mountain	A3 Rev
	DATE: 04/12/2015 DRAWING No: 15157A / 02		

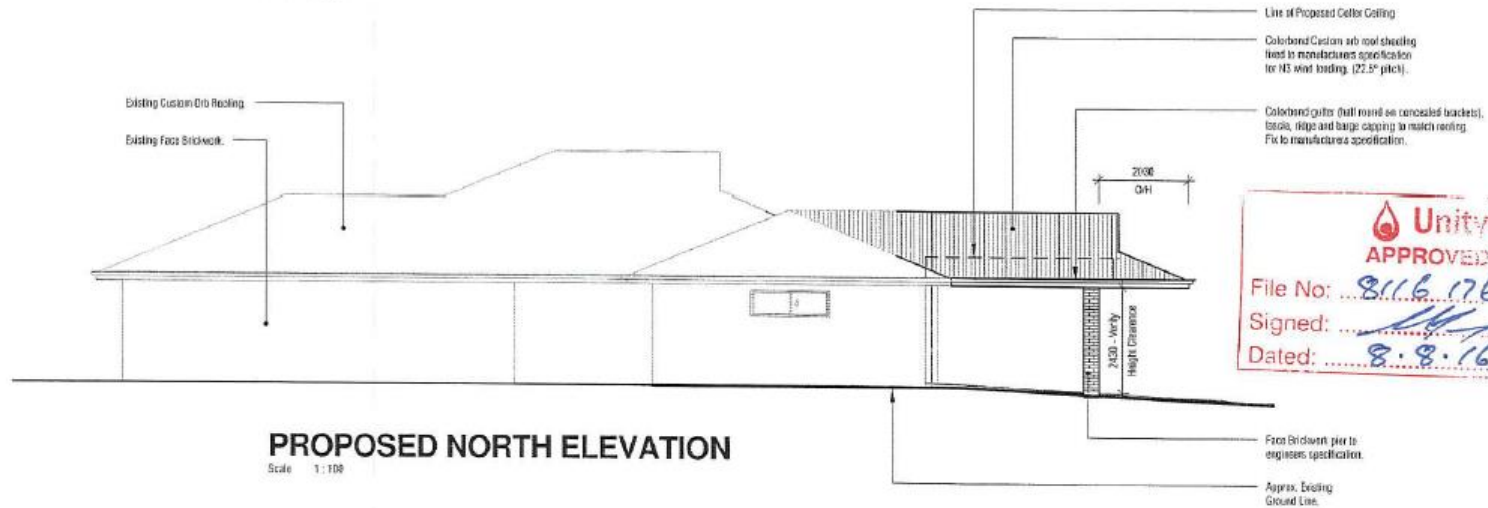


PROPOSED WEST ELEVATION

Scale 1:100

NOTE:
Builder / Contractor to confirm pitch of existing roof (easels for Proposed Elevation)

Preliminary Concept
Design 2



PROPOSED NORTH ELEVATION

Scale 1:100

Unitywater
APPROVED PLANS
File No: 8116 17641
Signed: [Signature]
Dated: 8.8.16

AK BUILDING DESIGN
T. 07 5443 4200 ABN 95 621 039 731
F. 07 5443 3391 E. info@akbd.com.au QBCC 1060583
A. Suite 9/50 Aerodrome Rd Maroochydore P.O. Box 116 Cotton Tree Qld 4558

C & J Andrew
30 Daintree Boulevard
Little Mountain

DATE:	04/12/2015	A3
DRAWING No:	15157A / 03	Rev

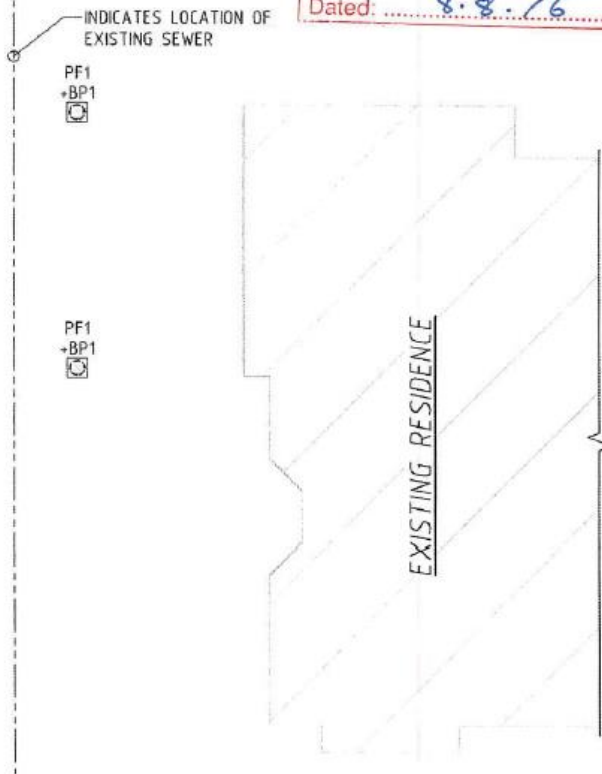
CONCRETE GRADES
FOOTINGS - N20 CONCRETE

Unitywater
APPROVED PLANS
File No: 811617641
Signed: [Signature]
Dated: 8.8.16

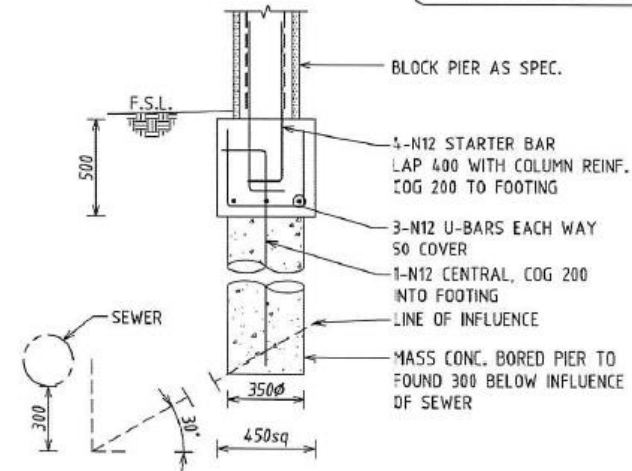
FOOTING SCHEDULE
PF1 450sq x 500d R.C. PAD FOOTING
BP1 350Ø M.C. BORED PIER TO FOUND 300
BELOW INFLUENCE OF EXISTING SEWER

GENERAL NOTES

1. BASES OF ALL EXCAVATIONS TO BE FINISHED SOUND AND FREE OF ANY LOOSE MATERIAL PRIOR TO PLACEMENT OF CONCRETE
2. TERMITE PROTECTION TO BE PROVIDED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT CODES
3. IF LARGE TREES ARE REMOVED DURING SITE PREPARATION, THE VOIDS ARE TO BE EXCAVATED, BACKFILLED & COMPACTED WITH SUITABLE MATERIAL SIMILAR TO THE EXCAVATED MATERIAL



FOOTING LAYOUT
1:100 at A3



PAD FOOTING DETAIL (PF1/BP1)
1:20 at A3

REFER TO ARCHITECTURAL SPECIFICATIONS FOR ALL SET OUT DIMENSIONS, FINISHINGS, FLASHINGS, WATERPROOFINGS, ETC.

Client: C & J ANDREW
Project: PROPOSED CARPORT
30 DAINTREE BOULEVARD
LITTLE MOUNTAIN

Designed: SCS Checked: GME Drawn: IAF
Approved: [Signature]
GAVIN EVANS / RPEQ: 8054

EMPIRE ENGINEERING
ACN 112761519 A&N 21112143518

sunshine coast office
45 Riverside Road, Mooloolah, Qld
T: 07 5471 6131 F: 07 5444 4232
T: 07 5471 6132 F: 07 5444 4232
www.empireengineering.com.au

PO Box 102, Mooloolah, Qld 4557
www.empireengineering.com.au

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2. Figured dimensions take precedence over text.
3. Verify all dimensions on site.

Issue	Amendment	Date	By

Date:	JULY 2016	Scale:	AS SHOWN
Job Reference Number	Page Number	Issue	
SC-5809	03		

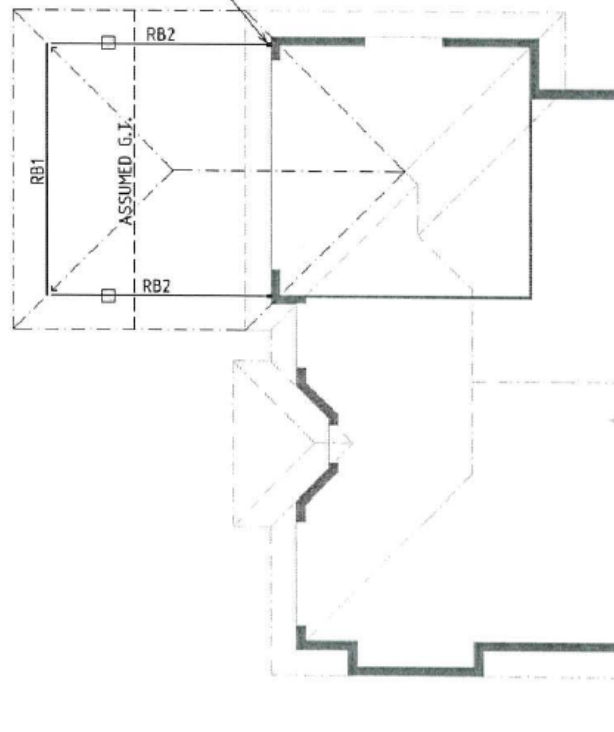
TIE-DOWN LEGEND

• INDICATES M12 ANCHOR ROD

INSTALL NEW 75sq x 4.0 SHS OUTSIDE EXISTING WALL LINE. FIX 10 BASE PLATE 2-M16 BOLTS TO EXISTING FOOTING. ELSE, SUPPORT BEAM ON MIN. 4 STUD CLUSTER & DIRECTLY FIX TO 1-M12 HOLD DOWN ROD TO EXISTING SLAB. ROD TO BE TENSIONED

NOTE:

TRUSS & GIRDER TRUSS LAYOUT TO BE SUBMITTED TO ENGINEER FOR CONFIRMATION OF SLAB THICKENINGS, LINTEL & BEAM SIZES PRIOR TO FABRICATION



ROOF FRAMING LAYOUT

1:100 of A3

REFER TO ARCHITECTURAL SPECIFICATIONS FOR ALL SET OUT DIMENSIONS, FINISHINGS, FLASHINGS, WATERPROOFINGS, ETC.

Client: C & J ANDREW
Project: PROPOSED CARPORT
30 DAINTREE BOULEVARD
LITTLE MOUNTAIN

Designed: SCS | Checked: GME | Drawn: IAF
Approved: [Signature]
GAVIN EVANS / RPEQ: 8054



sunshine coast office
45 Brisbane Road Mooloolah, Qld 4553
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www.sunshinecoastengineering.com.au
Main: 15151 4000
07 5477 5437
07 5481 4286

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Issue	Amendment	Date	By

Date:	JULY 2016	Scale:	AS SHOWN
Job Reference Number	Page Number	Issue	
SC-5809	04		

ROOF FRAMING AND TIE DOWN SCHEDULE

ROOF BATTENS

38 x 50 F14 HWD @ 900 CTRS. FIXED TO TRUSSES WITH 1/75mm No. 14 TYPE 17 SCREW. ALTERNATIVELY PROVIDE TOP HAT BATTENS TO MANUF. SPECS.

ROOF TRUSSES

ALL TRUSSES TO MANUFACTURERS DESIGN AND SPECIFICATIONS @ 900 MAX. CTRS.

FIX TO TOP PLATE USING:-

- 1-No. FRAMING ANCHOR 4/2.8mm ϕ NAILS EACH LEG FOR SPANS NOT EXCEEDING 4800mm
- 2-No. FRAMING ANCHORS AS BEFORE FOR SPANS NOT EXCEEDING 9600mm
- OTHERWISE USE 30 x 0.8mm G.I. LOOPED STRAP 4/2.8mm ϕ NAILS EACH END

GT - GIRDER TRUSS TGT - TRUNCATED GIRDER TRUSS

NOTE

INTERNAL TRUSS CONNECTIONS SHALL BE AS SPECIFIED BY MANUFACTURER

BUILDER TO ALLOW FOR ALL TRUSS MANUFACTURERS REQUIREMENTS PERTAINING TO TIE DOWN, BRACING AND SUPPORT TRUSS LAYOUT SHOWN INDICATIVE ONLY. TO BE CONFIRMED BY MANUFACTURER AND SUBMITTED TO ENGINEER FOR VERIFICATION PRIOR TO FABRICATION

ROOF BEAMS

RB1 260 x 65 HYNBEAM 17straight. FIX TO RB2 8PL. ANGLED CLEAT 2-M16 BOLTS

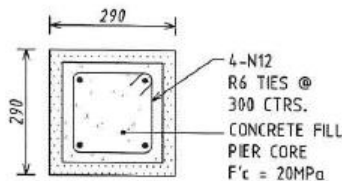
RB2 295 x 85 HYNBEAM 17straight. FIX TO C1 1-M16 BOLT CAST IN 400 MIN. COG END 100mm

COLUMNS

C1 290sq BLOCK PIER AS DETAILED

GENERAL TIMBER NOTES

1. ALL EXTERNAL TIMBER TO BE DURABILITY CLASS 2 OR BETTER IN ACCORDANCE WITH AS-1720.1 AND AS-1720.2 ALTERNATIVELY THE TIMBER CAN BE ADEQUATELY TREATED IN ACCORDANCE WITH AS-1604
2. HARDWOOD TO BE DURABILITY CLASS 2, FREE OF SAPWOOD
3. ALL ENGINEERED TIMBER PRODUCTS EXPOSED TO WEATHER TO BE PROTECTED TO MANUF. SPEC. (MIN. H3 TRU-CORE TREATED)



COLUMN DETAIL (C1)

1:10 at A3

Client: C & J ANDREW
Project: PROPOSED CARPORT
30 DAINTREE BOULEVARD
LITTLE MOUNTAIN

Designed: SCS Checked: GME Drawn: IAF
Approved: [Signature]
GAVIN EVANS / RPEQ: 8054

EMPIRE ENGINEERING
ACN: 112761518 ABN: 31113761510

sunshine coast office
15 Brisbane Road, Montrose Park, QLD 4571
T: 07 5477 9337 F: 07 5444 4216 www.empireengineering.com.au

1900 Lakeside Drive, Yandina, QLD 4575
T: 07 5477 9337 F: 07 5444 4216 www.empireengineering.com.au

2700 Lakeside Drive, Yandina, QLD 4575
T: 07 5477 9337 F: 07 5444 4216 www.empireengineering.com.au

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Issue	Amendment	Date	By

Date:	JULY 2016	Scale:	AS SHOWN
Job Reference Number	SC-5809	Page Number	05
Issue			

DETAILED STRUCTURE MAP

Page 14 of 15
 Lot Number: **29**
 Plan Number: **SP195901**
 Printed On: 22/06/2016
 Sequence No: 479741254

Emergency Situations
 Call Unitywater:
 1300 086 489

This information on this plan is valid
 for 30 days from "Printed On" date.

Legend

Extent of Unitywater Area	Sewer Service
Water	Sewer's Gravity Main
Water Pump Station	Sewer Pressure Main
Water Service	Sewer Storage Pipe
Water Valve	Sewer Pipe (Abandoned)
Water Hydrant	Recycled Water
Tapping Device	Recycled Water Pump Station
Water Main	Recycled Water Hydrant
Trunk Main	Recycled Water Valve
Reticulation Main	Recycled Water Fitting
Water Service	Recycled Water Main
Water Pipe (Abandoned)	Recycled Water Service
Sewer	Recycled Water Pipe (Abandoned)
Sewer Pump Station	Sewer Pump Station
Sewer Valve	Sewer Valve
Sewer Connection Point	Sewer Connection Point
Sewer Manhole	Sewer Manhole

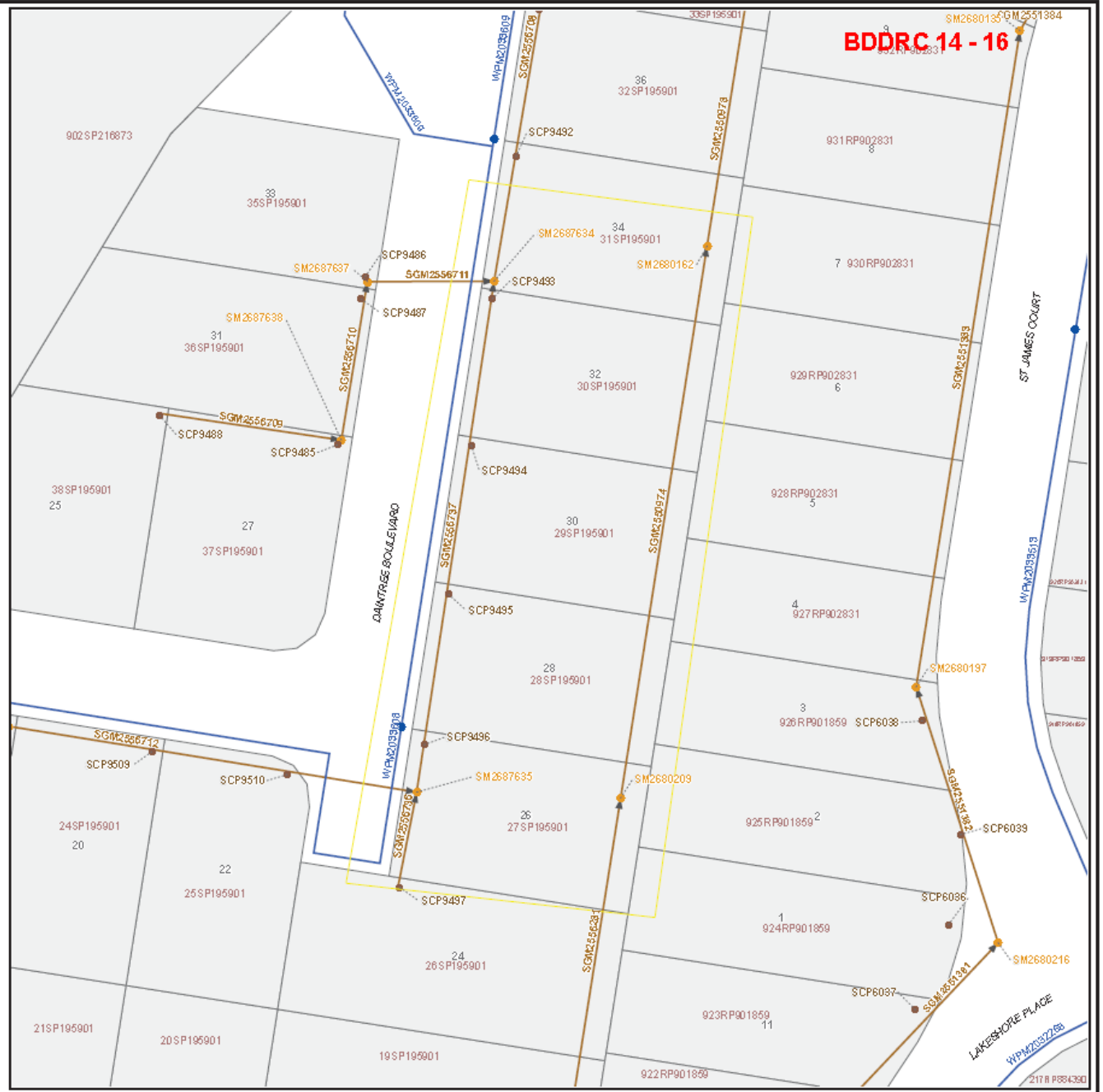
Map Tile: 1
 Scale: 1:500
 (If printed at 100%
 on A3 size paper)



Geospatial Information Systems
 Ground Floor, 33 King St
 Caboolture QLD 4510
 Inquiries: 1300 0 Unity (1300 086 489)
 Email: gis@unitywater.com

Disclaimer

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Mailing Address :
 PO Box 953, Caboolture QLD 4510
 Customer Service Centres:
 33 King Street, Caboolture QLD 4510
 6-10 Main Street, Maroochydore QLD 4558
 1300 0 UNITY (1300 086 489)
www.unitywater.com
 ABN: 88791717 472

Water Pressure Mains....

Asset Number	SubType	Material	Pipe Diameter	Pipe Length
2033608	Reticulation Main	PVC-U	100	249.8

No Recycled Water Pressure Mains found...

No Sewer Pressure Mains found...

Sewer Gravity Mains....

Asset Number	SubType	Material	Nominal Diameter	Pipe Length	USIL	DSIL
2550974	Trunk Main	PVC-U	225	75	3.02	2.79
2550978	Trunk Main	PVC-U	225	75	2.75	2.53
2556281	Trunk Main	PVC-U	225	54.3	1	3.04
2556708	Reticulation Main	PVC-U	150	82.2	3.33	2.8
2556711	Reticulation Main	PVC-U	150	17	3.59	3.4
2556712	Reticulation Main	PVC-U	150	55.4	4.76	4.15
2556736	Reticulation Main	PVC-U	150	13.1	5.33	4.16
2556737	Reticulation Main	PVC-U	150	69.4	4.08	3.38

Sewer Man Holes....

Asset Number	SubType	SL	IL	Roof Level
2687635	Manhole	6.77	4.08	6.77
2680209	Manhole	6.46	3.02	6.46
2687634	Manhole	6.39	3.33	6.39
2680162	Manhole	6.18	2.75	6.18

No Sewer Services found...

Sewer Connection Point....

ObjectID	Sub Type	SL	IL
9495	Gravity Service Point	6.5	6.3
9496	Gravity Service Point	6.6	6.52
9493	Gravity Service Point	6.38	6.02
9494	Gravity Service Point	6.45	6.23
9497	Gravity Service Point	6.65	6.3

Detailed Infrastructure Plan Guide

Unitywater's Detailed Infrastructure Plans are now presented as two related documents. This approach replaces the previous single map from the 1/7/2014. The change makes Unitywater consistent with previous Council approaches, and also with other water utilities in the area. It also enables the capability to provide more information than was typically clearly shown on the previous approach, and will assist in reducing costs to customers.

The first document, the map, shows the infrastructure location and identifies each asset with a unique identifier. The second document, containing tables of information, shows the attribute values for each unique identifier.

The Unitywater officer preparing your map has identified the infrastructure that is relevant to the request. This is identified by the yellow outline on the map. The detail of infrastructure that falls within this outline is included in the second document containing the attribute values. When you want to find the details for a particular asset, identify the unique number of the asset on the map (within the yellow outline), and locate the relevant information in the table on the second document.

Example of Map Document	Example of Attribute Data

If you have further questions, please call the Customer Service Centre on 1300 0 UNITY (1300 086 489).



Adjourning owners consent. Docx 1/1

Date 29 June 2016

I Gordon Streetred of

Address 32 Daintree Boulevard Little Mountain

To whom it may concern

RE. PROPOSED CARPORT AT 30 Daintree Blvd - Little Mountain

I have discussed the plans and details for the proposed carport with

Jill and Craig Andrew located at 30 Daintree Blvd - Little Mountain

And in principle have no objections to the proposal.

Regards,



Adjourning owners consent. Docx 1/1

Date 29.6.16

I Hayley Jayde ROBINSON of

Address 28 Daintree Blvd, Little Mountain, QLD, 4551

To whom it may concern

RE. PROPOSED CARPORT AT 30 Daintree Blvd - Little Mountain

I have discussed the plans and details for the proposed carport with

Jill and Craig Andrew located at 30 Daintree Blvd - Little Mountain

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Regards,


29/6/16